

Committee Date	25 th January 2024	
Address	Briarfield Hazel Grove Orpington BR6 8LU	
Application Number	23/04349/FULL6	Officer - Lawrence Stannard
Ward	Farnborough and Crofton	
Proposal	Demolition of existing garage and garden room. Construction of a two storey side/rear extension to existing main building plus part two storey front extension. Additional single storey side (to both sides) and part front extension. Roof ridge height raised with new crown top roof and central lantern to create loft conversion with rear dormers and side rooflights. General elevational alterations and remodelling with extended driveway.	
Applicant	Agent	
Mr & Mrs Raggett	Mr Jon Bale	
Briarfield Hazel Grove Orpington Bromley BR6 8LU	2-3 Rice Parade Fairway Petts Wood BR5 1EQ United Kingdom	
Reason for referral to committee	Councillor call in	
	Outside Delegated Powers	No

RECOMMENDATION	Permission
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<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Biggin Hill Safeguarding Area Conservation Area – Farnborough Park London City Airport Safeguarding Open Space Deficiency Smoke Control SCA 11 TPO</p>
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Representation summary	<ul style="list-style-type: none"> • Neighbour notification letters were sent on the 13th November 2023. • The site notice was displayed on the 16th November 2023. • A Press Ad was published on the 22nd November 2023.
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Total number of responses	1
Number in support	1
Number of objections	0

1 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would not result in a harmful impact on the appearance of the host dwelling.
- The development would preserve the character of the Farnborough Park Conservation Area.
- The development would not result in an unacceptable impact upon the amenities of neighbouring residential properties.
- The development would not result in an unacceptable impact upon highways matters.

2 LOCATION

2.1 The application site hosts a two storey detached dwelling located on the southern side of Hazel Grove.

2.2 The site lies within the Farnborough Park Conservation Area.



Figure 1: Site Location Plan

3 PROPOSAL

- 3.1 The application seeks permission for the demolition of the existing garage and garden room and the construction of a two storey side/rear extension, part two storey front extension, additional single storey side extensions.
- 3.2 The development would also include the roof ridge height being raised with new crown top roof and central lantern to create loft conversion with rear dormers and side rooflights, and general elevational alterations and remodelling with extended driveway.

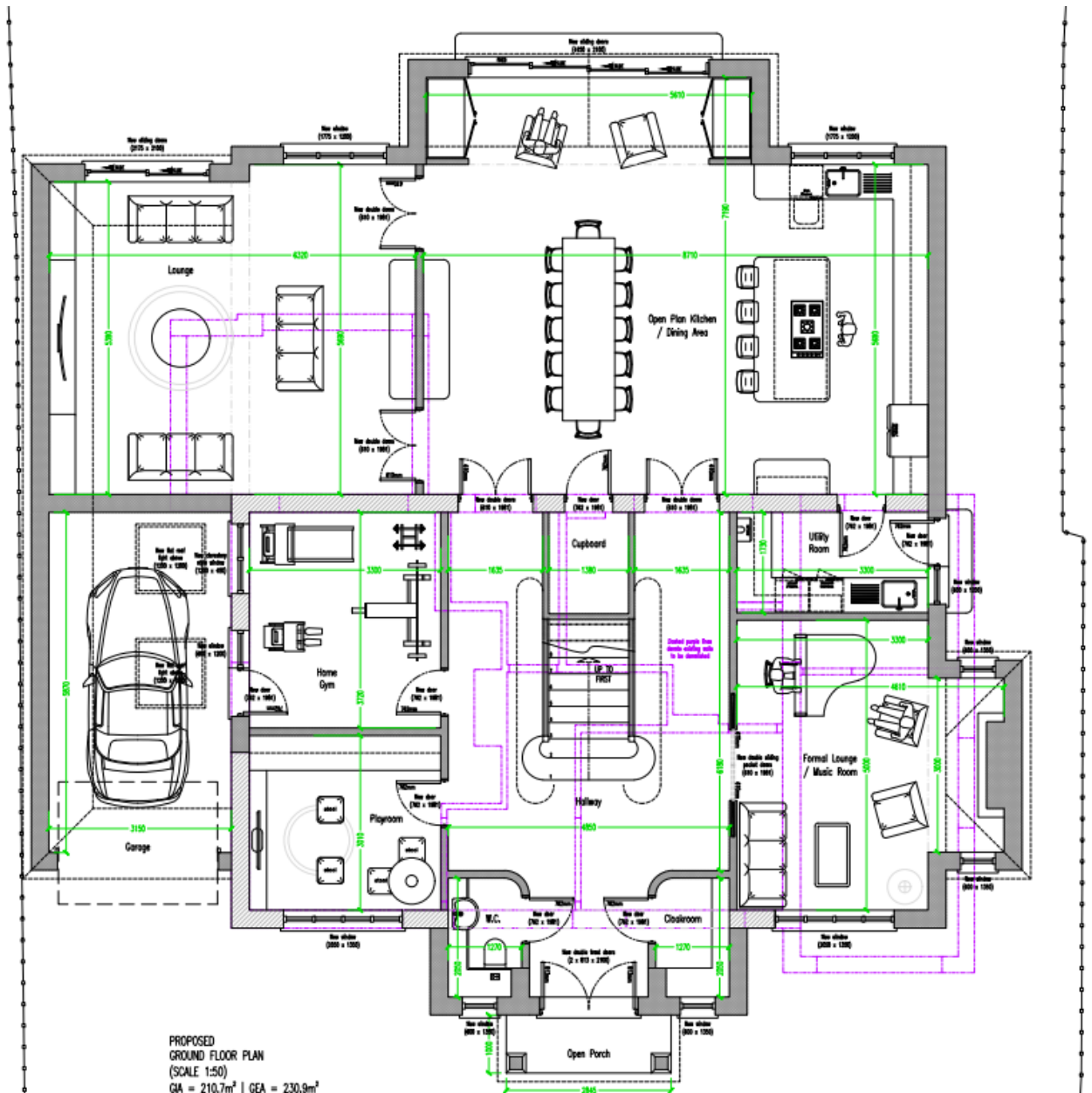


Figure 2: Proposed Ground Floor Plan

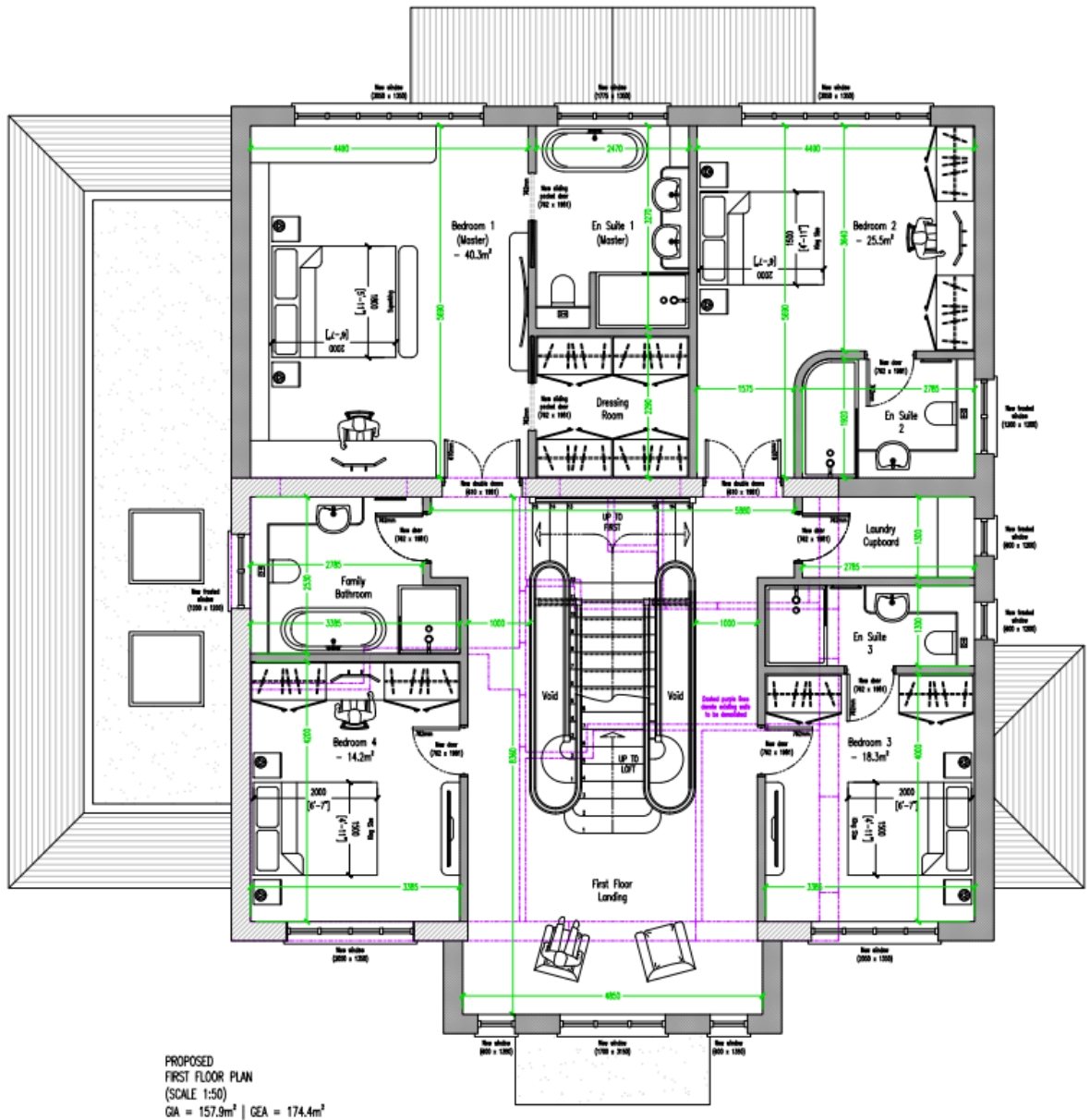


Figure 3: Proposed First Floor Plans

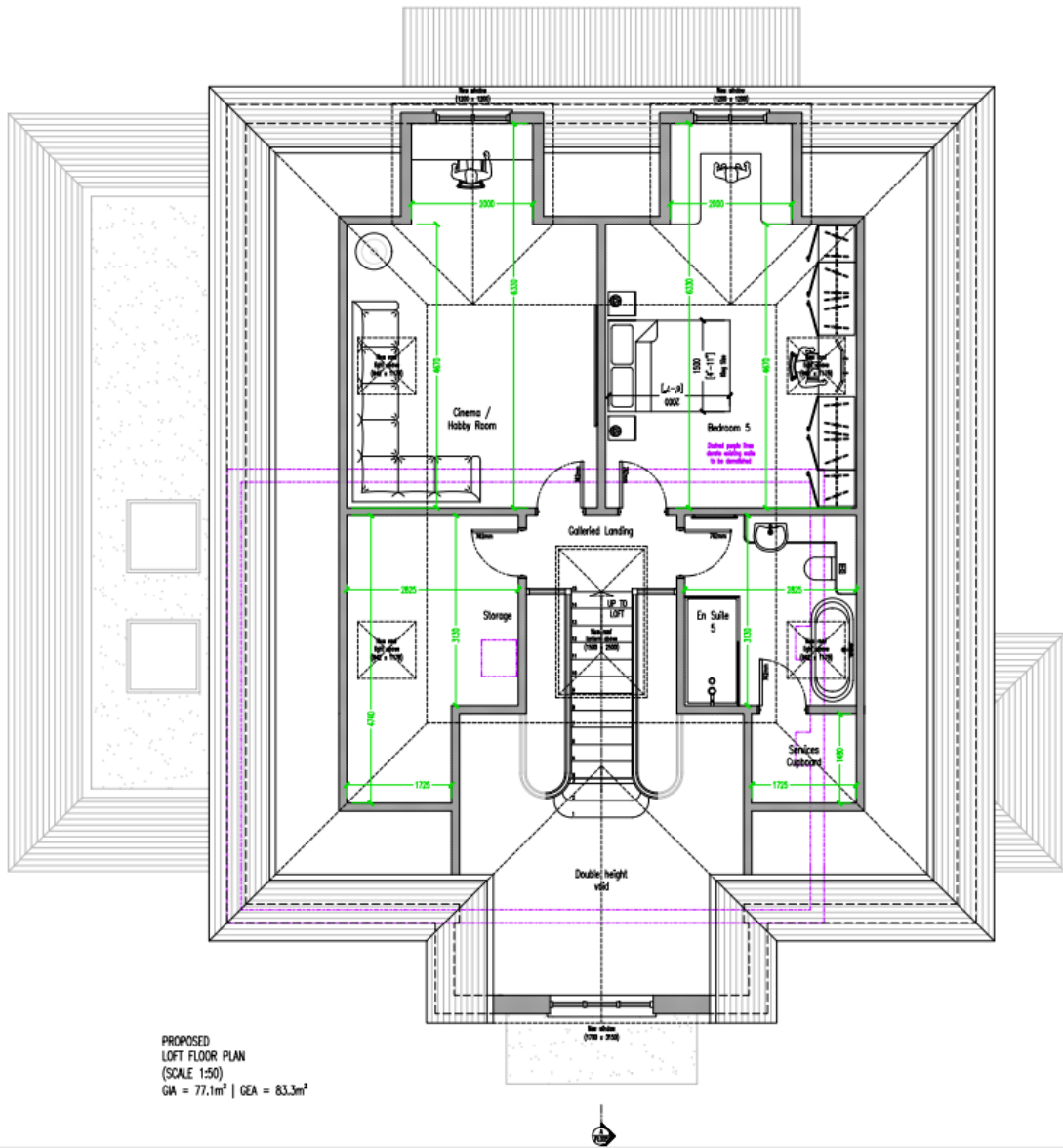


Figure 4: Proposed Second Floor Plans



EXISTING
FRONT SIDE ELEVATION
(SCALE 1:100)



PROPOSED
FRONT SIDE ELEVATION
(SCALE 1:100)

Figure 5: Existing and Proposed Front Elevations



EXISTING
REAR SIDE ELEVATION
(SCALE 1:100)



PROPOSED
REAR SIDE ELEVATION
(SCALE 1:100)

Figure 6: Existing and Proposed Rear Elevations



Figure 7: Existing and Proposed Side Elevations

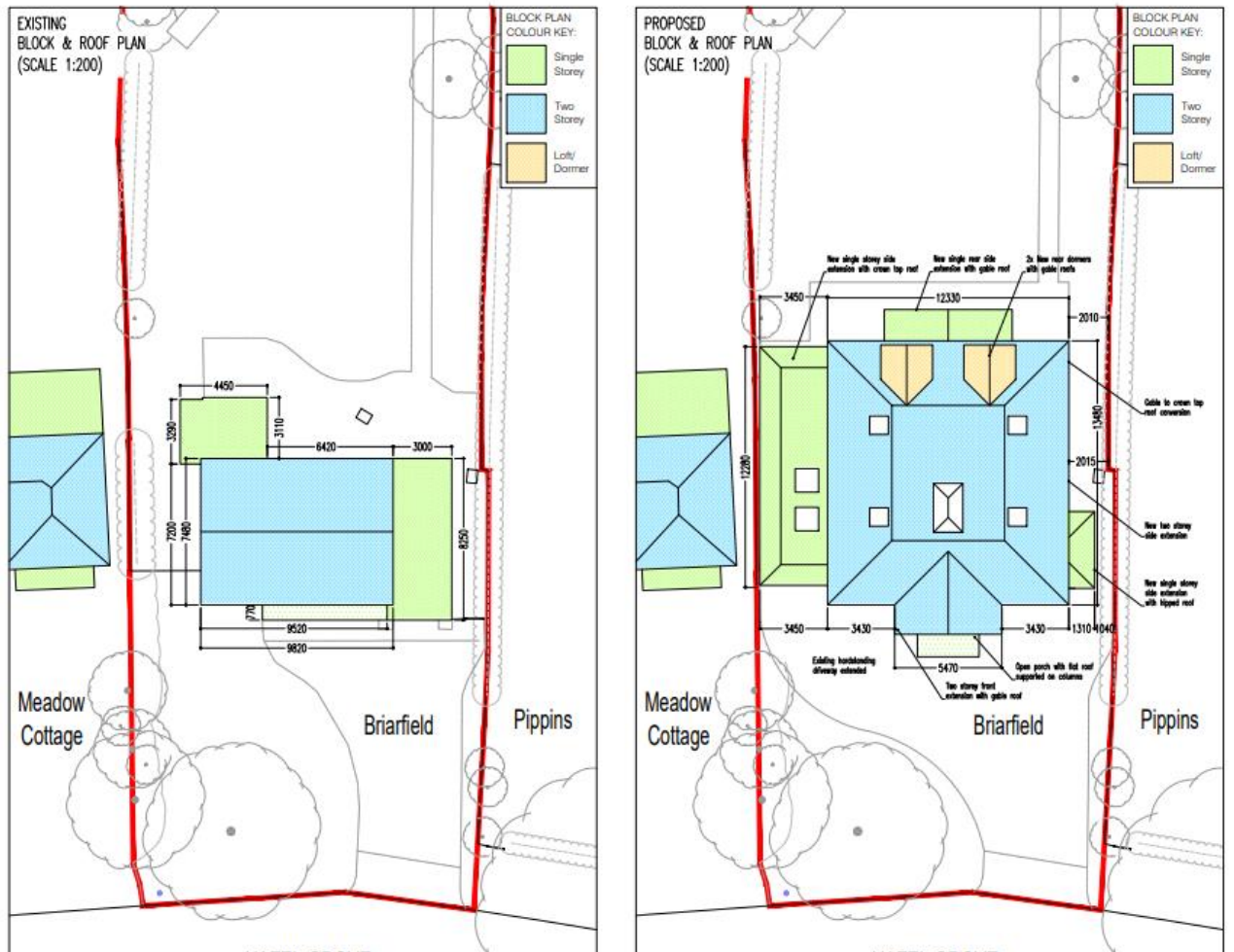


Figure 8: Existing and Proposed Site Plan



Figure 9: Photo of Rear Elevation



Figure 10: Photo of Front Elevation

4 RELEVANT PLANNING HISTORY

4.1 The application site has no recent planning history.

5 CONSULTATION SUMMARY

A) Statutory

Highways:

- Applicant should satisfy themselves that they have right of way over Hazel Grove as it is a private road.
- The access and parking arrangements appear satisfactory so I would have no comments on the proposal.

Conservation Officer:

- The existing house is of no significance in heritage terms and although this proposed design is perhaps a little ostentatious and the large crown roof is not particularly traditional, it will not be widely seen in the heritage context and I would not therefore object from that point of view.
- I note that this proposal will almost double the size of the existing house and appears to pressurise the side space. However these proposals will not be widely seen in the heritage context in my view.

B) Local Groups

No Comments were received from local groups.

C) Adjoining Occupiers

The following comments were received from adjoining occupiers (summarised);

Support

- I support the plans for this house as it looks like it will be a significant improvement on the current dwelling

6 POLICIES AND GUIDANCE

6.1 Section 70(2) of the Town and Country Planning Act 1990 (as amended) sets out that in considering and determining applications for planning permission the local planning authority must have regard to:-

- (a) the provisions of the development plan, so far as material to the application,
- (b) any local finance considerations, so far as material to the application, and
- (c) any other material considerations.

6.2 Section 38 (6) of the Planning and Compulsory Purchase Act (2004) makes it clear that any determination under the planning acts must be made in accordance with the development plan unless material considerations indicate otherwise.

6.3 The development plan for Bromley comprises the London Plan (March 2021) and the Bromley Local Plan (2019). The NPPF does not change the legal status of the development plan.

6.4 The application falls to be determined in accordance with the following policies:-

6.5 **National Policy Framework 2023**

6.6 **The London Plan (2021)**

D1 London's Form and Characteristics

D3 Optimising Site Potential Through the Design Led Approach

D4 Delivering Good Design

D5 Inclusive Design

6.7 **Bromley Local Plan 2019**

6 Residential Extensions

8 Side Space

30 Parking

37 General Design of Development

41 Conservation Areas

123 Sustainable Design and Construction

6.8 **Bromley Supplementary Guidance**

Urban Design Supplementary Planning Document (July 2023)

Farnborough Park Conservation Area SPG

7 ASSESSMENT

7.1 Design, Layout, Scale and Conservation Impact – Acceptable

7.1.1 Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. London Plan and Bromley Local Plan (BLP) policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.

7.1.2 Policies 6 and 37 of the Bromley Local Plan (BLP) and the Council's Supplementary design guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development.

7.1.3 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a requirement on a local planning authority in relation to development in a Conservation Area, to pay special attention to the desirability of preserving or enhancing the character or appearance of that area.

7.1.4 The proposed development would result in a significant enlargement to the host dwelling and would significantly alter its appearance with the construction of a two storey side/rear extension, part two storey front extension, additional single storey side extensions, and alterations to the roof to include increase in ridge height and crown roof with rear dormers.

- 7.1.5 In terms of the heritage impact, the Conservation Officer has commented that the existing house is of no significance in heritage terms and that whilst the house would be almost doubled in size and would pressurise the side space it would not be widely seen in the heritage context. Furthermore, the Conservation Officer also noted that whilst the design would be a little ostentatious and the large crown roof not particularly traditional given it would not be widely seen in the heritage context no objection would be raised from the Conservation Officer.
- 7.1.6 It is accepted that the proposed dwelling would significantly increase the overall scale and bulk compared to the existing dwelling, however the resulting scale would not appear out of keeping with the scale of other dwellings within the Farnborough Park Conservation Area. Furthermore, the design features including the crown roof also appear similar to other properties within the area and it is not considered that the design would detract from the overall character of the conservation area.
- 7.1.7 With regards to the impact on side space in relation to Policy 8, it is noted that the dwelling would be enlarged with a two storey side extension to its north-western boundary. The dwelling would retain a minimum of 2.015m to the flank boundary at two storey level, with a 2.37m separation to the front of the two storey extension. A modest single storey projection would project further to the side though would retain a 1m separation distance to the boundary, and it is noted that given the side boundary adjoins the rear boundary of the adjacent property at Pippins and there would be a significant separation distance retained between these dwellings. Furthermore, the dwelling would retain an approx. 3.5m separation to its south-eastern boundary with Meadow Cottage at first floor level, and whilst the single storey side extension to this side would project up to the boundary it is considered that the sufficient separation at first floor level would prevent the development appearing as a cramped form of development. Having regard to the above, it is considered that the development would not harm the spatial standards of this part of the Conservation Area.
- 7.1.8 Having regard to the above, it is considered that the resulting scale and design of the development would not appear out of character or harmful to the visual amenities of the street scene and the existing spatial standards, and that the character of the Conservation Area would therefore be preserved.

7.2 Residential Amenity – Acceptable

- 7.2.1 The proposed development would result in an enlargement of the dwelling adjacent to the shared boundary with Meadow Cottage to include a 3.5m wide single storey side extension projecting for a depth of 12.28m, set approx. 0.1m from the boundary. The proposed 6m two storey rear extension would also result in the dwelling projecting further to the rear at two storey to a similar distance to the side extension, though it would remain 3.5m from the shared boundary and the roof would pitch away from the boundary to lessen its impact.
- 7.2.2 In terms of visual impact, this neighbour benefits from a single storey projection which currently projects beyond the rear of the application dwelling. The extensions would result in Briarfield projecting approx. 1m beyond the neighbour at ground floor level, and approx. 4.5m beyond the neighbours closest first floor windows. Having regard to the modest projection at single storey level and the separation distance between the

proposed two storey rear projection, it is not considered that the development would result in any unacceptable level of harm by way of loss of outlook or visual amenity.

- 7.2.3 Having regard to the orientation of the site, it is not considered that these extensions would result in any direct loss of light to the neighbour at Meadow Cottage.
- 7.2.4 With regards to the impact on other neighbours, the greater impact would be upon the neighbouring property at Pippins which rear boundary adjoins the flank boundary of the application site. It is considered that other adjoining / nearby neighbours to the rear and front of the site would not be significantly impacted given the retained separation distance between them.
- 7.2.5 The proposed extensions would result in the dwelling projecting 2.5m closer to the rear boundary of Pippins at two storey level that would project for a depth of 13.48m, set 2.015m separation away from the boundary. The extension would also include an additional single storey element projecting 1.31m closer for a depth of 3.9m.
- 7.2.6 The neighbouring property at Pippins is set approx. 29m from its own rear boundary and therefore there would be a significant separation distance retained between its rear elevation and the flank elevation of the proposed extensions. Furthermore, the boundary vegetation would provide some screening of the extensions, and the roof of the two storey part of the dwelling would pitch away from the shared boundary. On balance, having regard to the scale and separation distance it is considered that the development would not result in any unacceptable loss of light, outlook or visual amenity to this neighbour.
- 7.2.7 With regards to privacy, the upper floor windows would serve bathrooms or cupboards and are indicated to be obscured glazed which would prevent any overlooking towards the neighbouring properties. The front and rear facing windows are not considered to result in any significant or unacceptable level of overlooking above that which already exist, and therefore subject to a condition to ensure the upper floor flank windows are retained as obscure glazed then it is not considered the development would harm the privacy of the adjacent neighbours.

7.3 Highways - Acceptable

- 7.3.1 London Plan and BLP Policies encourage sustainable transport modes whilst recognising the need for appropriate parking provision. Car parking standards within the London Plan and BLP should be used as a basis for assessment.
- 7.3.2 The existing garage would be demolished as part of the development, however an integral garage would be provided within the proposed side extension to the eastern side of the dwelling and would provide one parking space. Further off-street parking would remain on the frontage of the site.
- 7.3.3 Highways Officers have confirmed that the access and parking arrangements would be satisfactory and that they would therefore not object to the proposed development.
- 7.3.4 However, it is noted that Hazel Grove is recorded as a private road and the applicants should therefore satisfy themselves that they have right of way over Hazel Grove.

7 CONCLUSION

- 8.1 Having had regard to the above it is considered that the development in the manner proposed is acceptable as it would not harm the amenities of neighbouring properties or the appearance of the host dwelling, and would preserve the character and appearance of the Conservation Area.
- 8.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

Recommendation: Permission

Conditions

- 1. Time Period**
- 2. Compliance with approved plans**
- 3. In accordance with submitted materials**
- 4. Obscure glazing to flank windows**

Any other planning condition(s) considered necessary by the Assistant Director of Planning.